

MK	TYPE	SIZE	MATERIAL	GLAZING	OPTIONS
1	EXTERIOR	3'-0" x 6'-8"	FIBERGLASS	LOW E	NO GRILLS
2	INTERIOR	2'-6" x 6'-8"	SMOOTH	N/A	SOLID CORE
3	INTERIOR	2'-0" x 6'-8"	SMOOTH	N/A	SOLID CORE
4	BI-FOLD	4'-0" x 6'-8"	WOOD LOUVERED	N/A	
5	FRENCH EXT	(2) 2'-8" x 6'-8"	FIBERGLASS	LOW E	
6	INTERIOR	2'-4" x 6'-8"	SMOOTH	N/A	SOLID CORE
7	BI-FOLD	5'-0" x 6'-8"	WOOD LOUVERED	N/A	
8	BI-FOLD	3'-0" x 6'-8"	WOOD LOUVERED	N/A	
9	POCKET	2'-0" x 6'-8"	SMOOTH	N/A	SOLID CORE
10	BI-FOLD	6'-0" x 6'-8"	WOOD LOUVERED	N/A	
11	INTERIOR	1'-8" x 6'-8"	SMOOTH	N/A	SOLID CORE
12	EXTERIOR PATIO	2'-8" x 6'-8"	FIBERGLASS	CLEAR IG	NO GRILLS
13	EXTERIOR	2'-6" x 6'-8"	FIBERGLASS	N/A	
14	FRENCH EXT	(2) 2'-8" x 6'-8"	FIBERGLASS	CLEAR IG	
15	EXTERIOR	3'-0" x 6'-8"	FIBERGLASS	CLEAR IG	NO GRILLS
16	BY-PASS	5'-0" x 6'-8"	SMOOTH	N/A	SOLID CORE
17	INTERIOR	2'-0" x 6'-8"	SOLID CORE BIRCH	N/A	WEATHER STRIPPED WITH SWEEP, THRESHOLD & KEY LOCK
18	INTERIOR	3'-0" x 6'-8"	SOLID CORE BIRCH	N/A	
19	EXTERIOR PATIO	2'-8" x 6'-8"	FIBERGLASS	LOW E	NO GRILLS

ALL EXTERIOR FIRST FLOOR DOORS WILL HAVE LOW PROFILE THRESHOLDS.

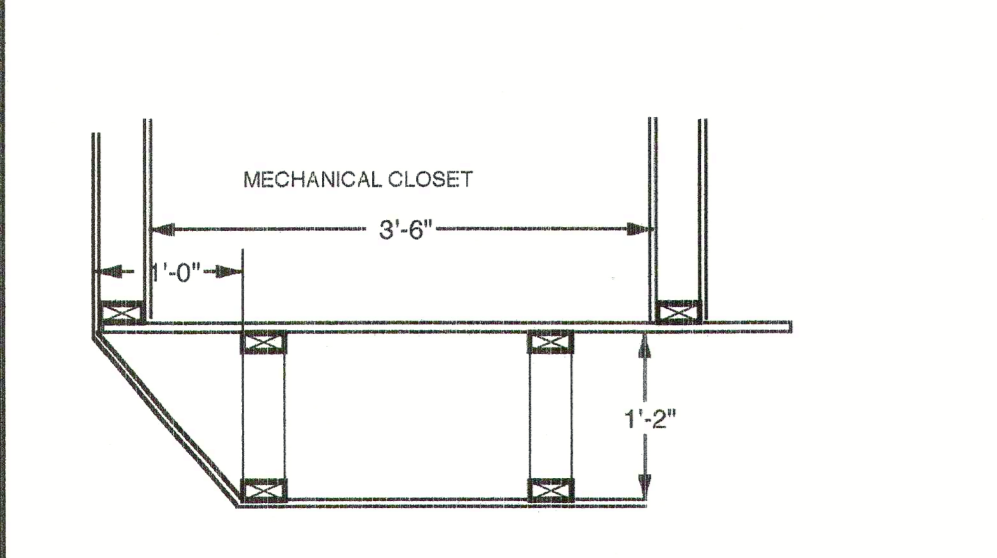
MK	TYPE	UNIT NO	MAKE	GLAZING	OPTION
1	DOUBLE HUNG	CPDH 2432	CARADCO	CLEAR IG	
2	DOUBLE HUNG	CPDH 2026	CARADCO	LOW E	
3	DOUBLE HUNG	CPDH 2020	CARADCO	LOW E	
4	DOUBLE HUNG	CPDH 2016	CARADCO	LOW E	
5	DOUBLE HUNG	CPDH 2026	CARADCO	CLEAR IG	

LOCATION	FIXTURE	MAKE	MODEL	LAMP/TRIM
KITCHEN	UNDER CAB FLUOR	SIMKAR	UW2079-LA	20W T-12
KITCHEN	PENDANT	\$50 ALLOWANCE	ITEM TBD BY BUYER	
LIVING ROOM	CLNG FAN	\$100 ALLOWANCE	ITEM TBD BY BUYER	
DINING ROOM	TRACK	\$100 ALLOWANCE	ITEM TBD BY BUYER	
BEDROOMS	CLNG FAN LIGHT	\$150 ALLOWANCE	ITEM TBD BY BUYER	
BATHROOM	BATH FAN/LIGHT	PANASONIC	FV07 VOL2	FLUORESCENT 14-3 LIGHT FIXTURE
BATHROOM	WALL SCONCE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
LAUNDRY	SURFACE FIXTURE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
EXTERIOR	WALL MTD	VOLUME	V-1527-S	11W G.F.
ENTRY	WALL SCONCE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
STAIRWELL	WALL SCONCE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
HALL	WALL SCONCE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
SCREEN PORCH	CLNG FAN LIGHT	\$150 ALLOWANCE	ITEM TBD BY BUYER	

NOTE: AFCI ON ALL BEDROOM CIRCUITS.

LOCATION	FIXTURE	MAKE	MODEL	COLOR	TRIM
BATH	TUB				
	W.C.				
	PEDESTAL SINK				
1/2 BATH 1300 & 1460	WALL MTD LAV	ELFE	25011	WHITE	DELTA METAL LEVER
KITCHEN	KITCHEN SINK	POLAR	DOUBLE BOWL S.		DELTA METAL LEVER
	DISHWASHER				
	REF				
	STOVE				
	13" 600 LIGHT ONLY				
CONSERVATION DEVICES	SHOWERHEAD	NIAGARA	CONSERVATION		1.7 GPM
	ROPER FAUCET	NIAGARA	CONSERVATION		<2.2 GPM
	BATHROOM FAUCET	NIAGARA	CONSERVATION		1.0 GPM
	TOILET				
OPTIONS	GARDEN TUB				TBD BY BUYER
	SHOWER				TBD BY BUYER

Electrical Symbols			
⊕	TRACK LIGHT	⊕	CEILING FAN LIGHT
⊕	DUPLEX RECEPTACLE	⊕	SWITCH
⊕	SWITCHED RECEPT.	⊕	3 WAY SWITCH
⊕	220 RECEPTACLE	⊕	DIMMER SWITCH
⊕	SURFACE LIGHT	⊕	TELEPHONE
⊕	PENDANT LIGHT	⊕	TELEVISION
⊕	WALL LIGHT	⊕	FLUORESCENT
⊕	RECESSED CAN	⊕	SMOKE DETECTOR
⊕	EYEBALL CAN	⊕	COMPUTER
⊕	FAN LIGHT	⊕	CO DETECTOR
⊕	CEILING FAN	⊕	FLOOD LIGHT



1460 UNIT STAIR HEAD CLEARANCE



1460 S.F. UNIT PLAN - NORTH ELEVATION EAST END UNIT - FRONT ENTRY ON SOUTH SIDE scale: 1/4" = 1'0"



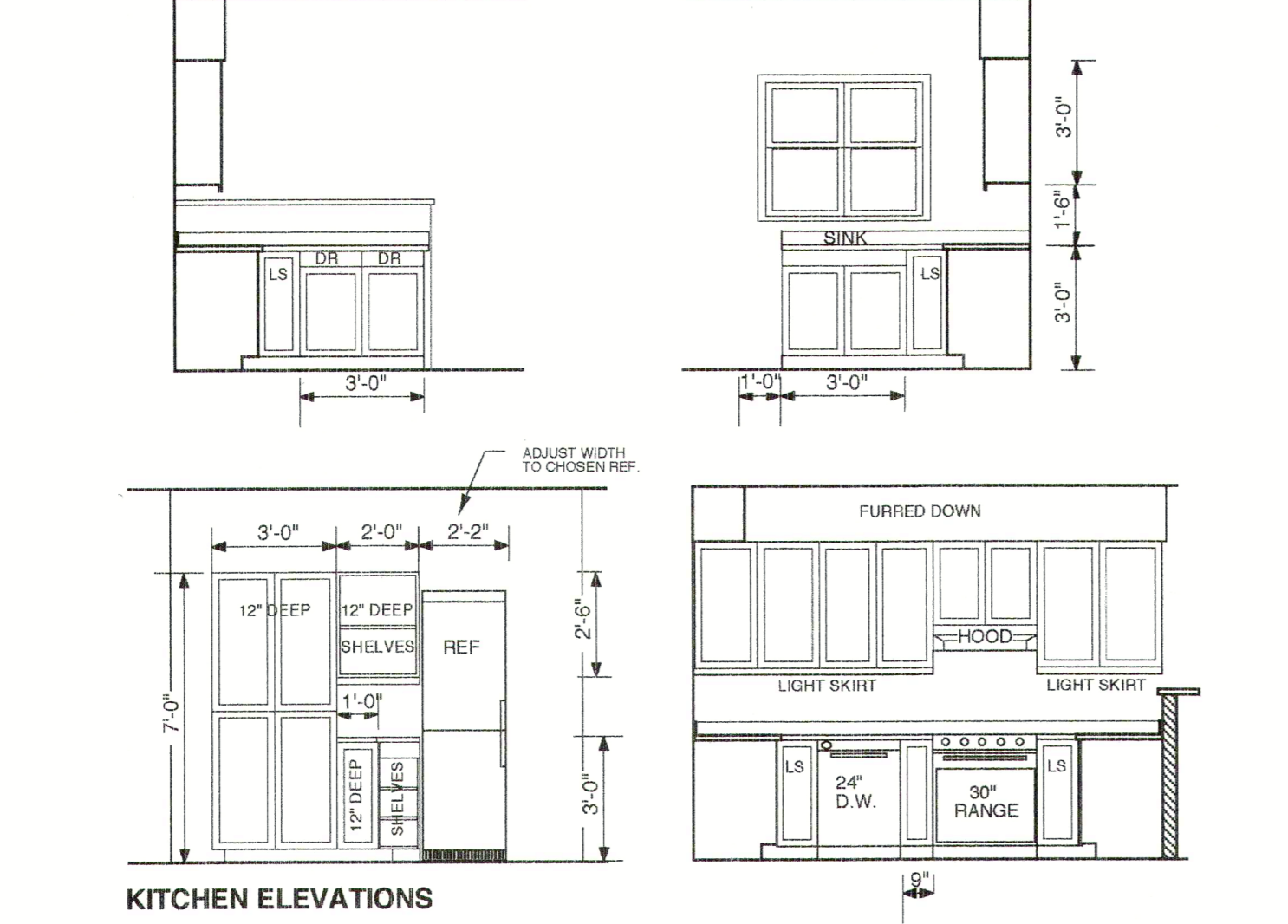
1460 S.F. UNIT PLAN - SOUTH ELEVATION EAST END UNIT - FRONT ENTRY ON SOUTH SIDE scale: 1/4" = 1'0"



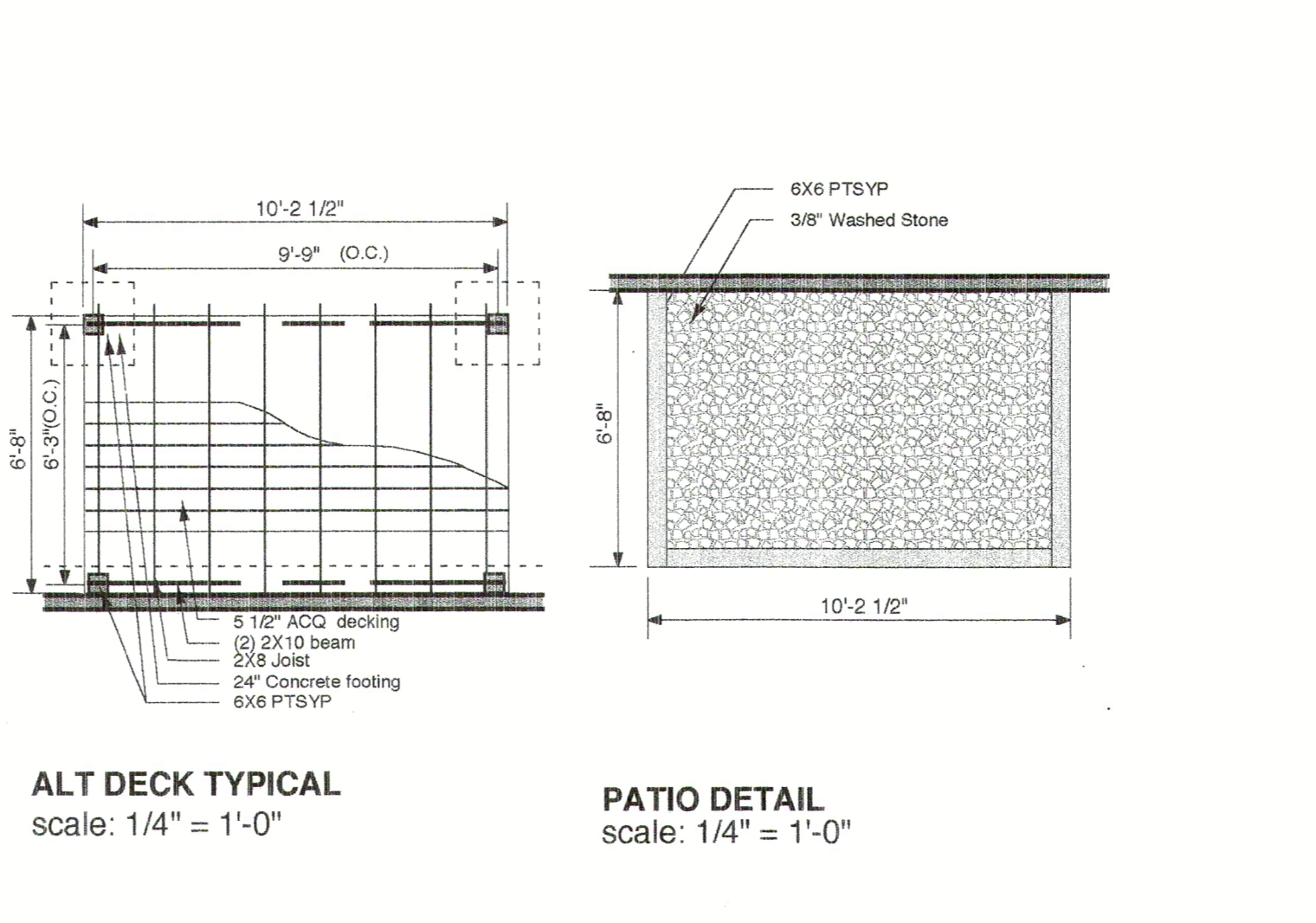
1460 S.F. UNIT PLAN - NORTH ELEVATION MIDDLE UNIT - FRONT ENTRY ON SOUTH SIDE scale: 1/4" = 1'0"



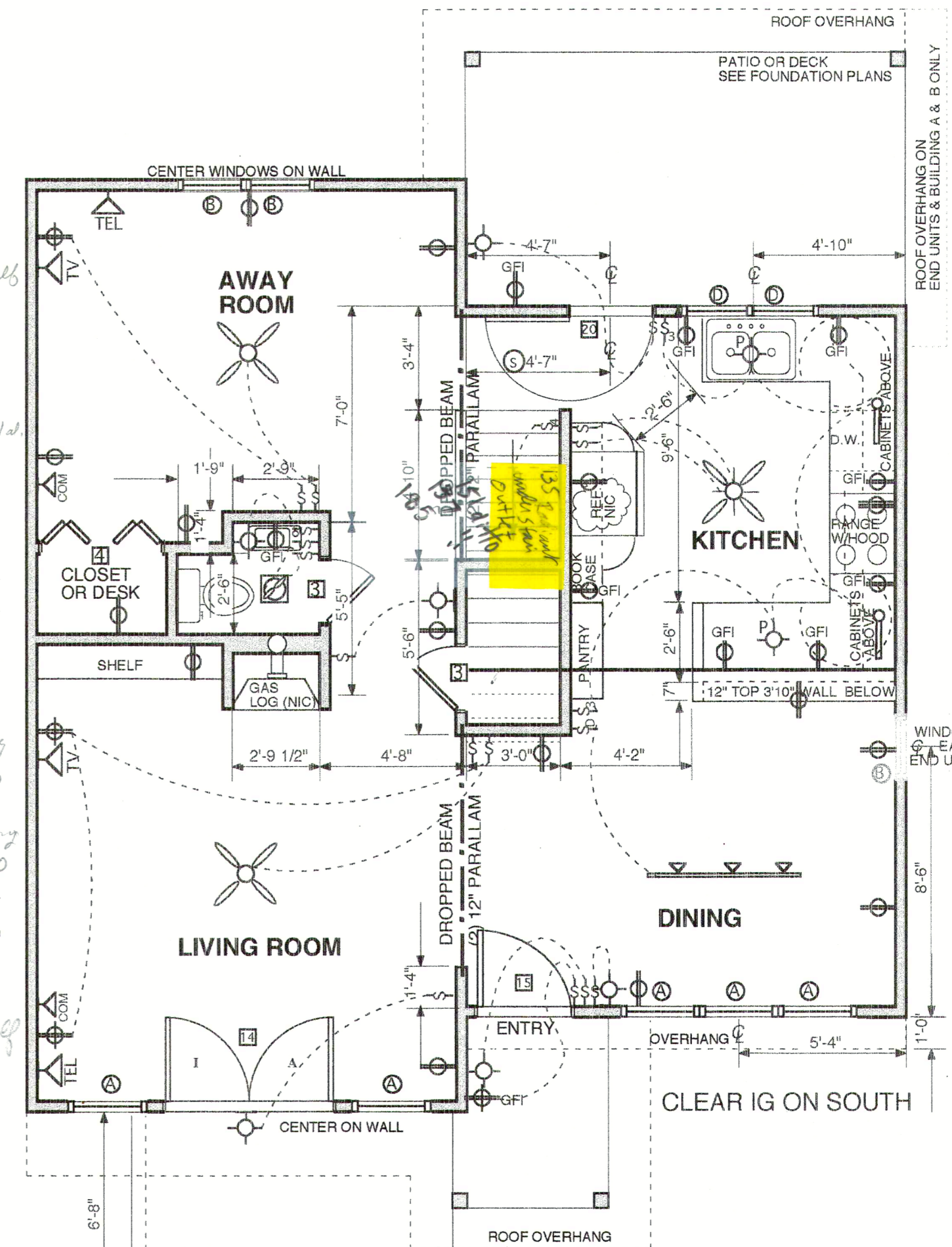
1460 S.F. UNIT PLAN - SOUTH ELEVATION MIDDLE UNIT - FRONT ENTRY ON SOUTH SIDE scale: 1/4" = 1'0"



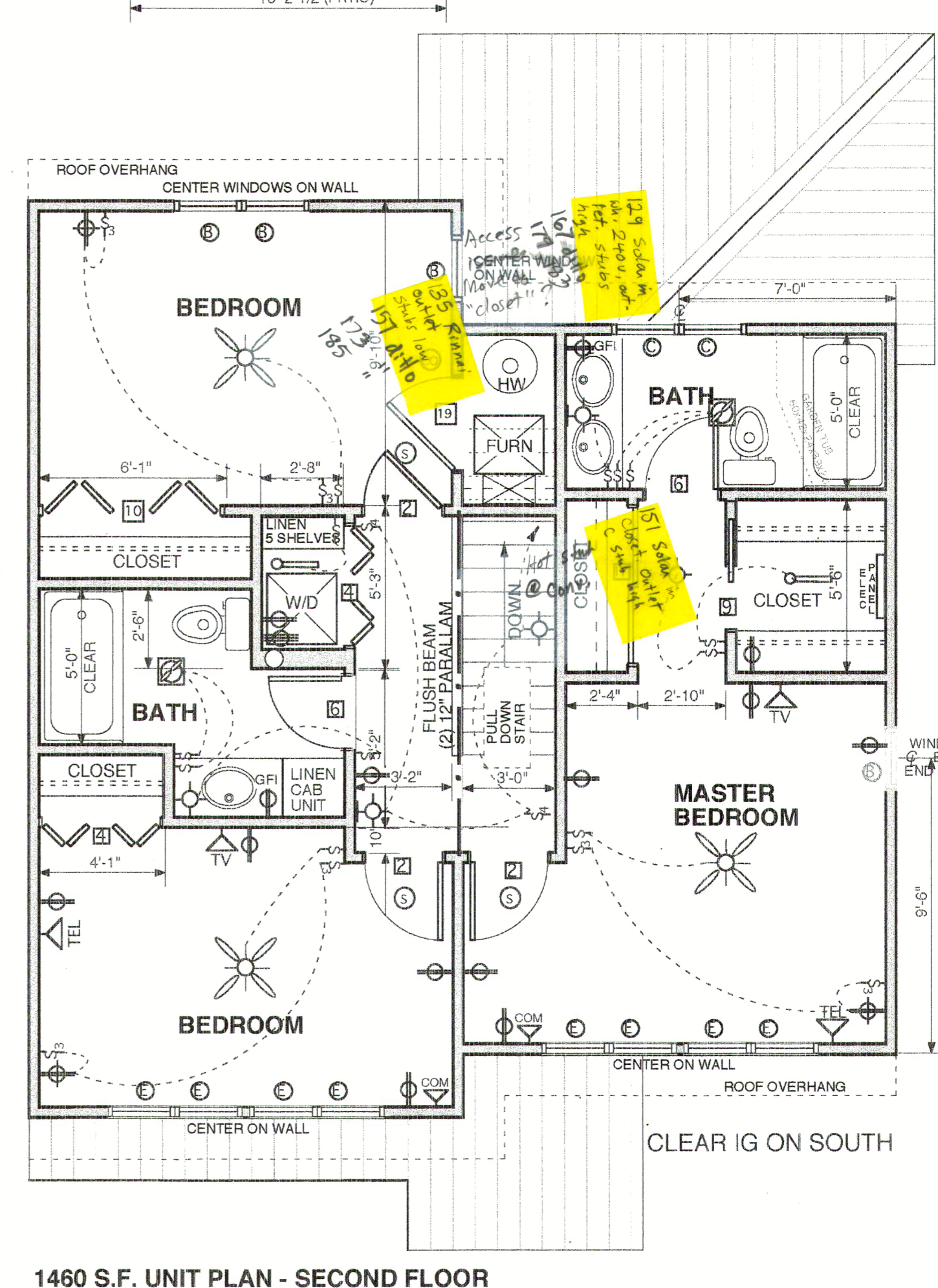
KITCHEN ELEVATIONS



ALT DECK TYPICAL scale: 1/4" = 1'-0" PATIO DETAIL scale: 1/4" = 1'-0"



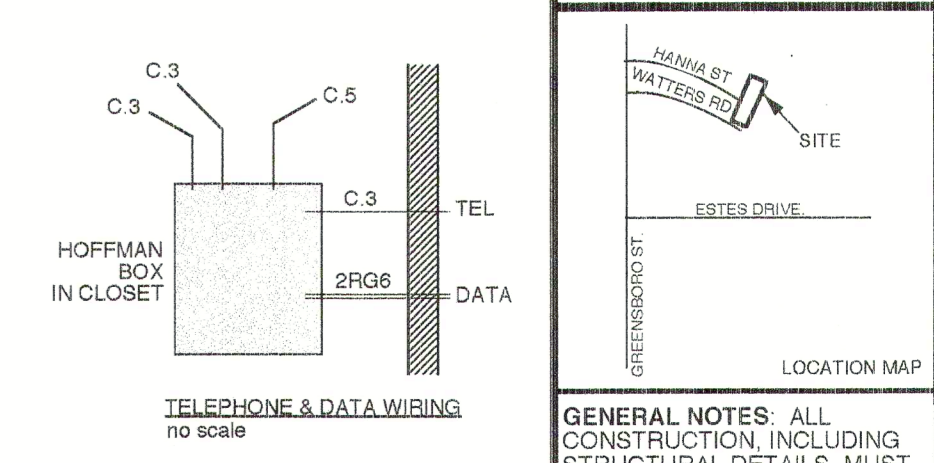
1460 S.F. UNIT PLAN - FIRST FLOOR scale: 1/4" = 1'0"



1460 S.F. UNIT PLAN - SECOND FLOOR scale: 1/4" = 1'0"

Lot / Unit Number	Future Owner	House Size
Q101	Martinez	1460 - N
Q103	Mendes, G.	Custom - N
P105	Wilburn	1100 - N
P107	Stearns	1100 - N
P109	Burnham	1460 - N
O111	Saib & Setko	Custom - N
N113	McCoubough	1100 - N
N115	Reizovic	1300 - N
N117	Pedroza & Newman	900 - N
N119	Strozes & Ballo	1460 - N
L121	Myers & Haines	1460 - S
L123	Wassfall	900 - S
L125	Martens	900 - S
K127	Seedy	900 - S
K129	Cole & Esheligh	1460 - S
J131	Carmali	900 - S
J133	Murphy, J.	1300 - S
J135	Jarvison	1460 - S
J137	Crowder	1100 - S
J139	Reall	900 - S
CH141	HGA-Common House	Custom - N
CH143	HGA-Guest House	Custom - N
E145	Corrator & Escobar	Custom - N
F147	Fraser	1300 - S
F149	Jordan	1100 - N
F151	Hensck	1460 - N
C153	Whelan	Custom - N
C155	Curranben & Kenberry	1300 - N
H157	Bvassee	1460 - N
H159	Griffin	1100 - N
H161	Kahn	900 - N
H163	LoBragio	1100 - N
A165	Janis	1106.fmt.-S
A167	Hardy	1460 - S
A169	Griffin	1100 - S
A171	Cook	1106.fmt.-S
A173	Moleski & Krollner	1460 - S
A175	Morningstar & Winters	1300 - S
B177	Jensen	1106.fmt.-S
B179	Coleman & Michaels	1460 - S
B181	Romito	1106.fmt.-S
B183	Kohman	1460 - S
B185	Maurinostar & Zuckerman	1460 - S
C187	Trininski	610 - S
C189	Millers	610 - S
C191	Wash	610 - S
C193	Evert	610 - S
D195	Pierma	Custom - S

KEY: N and S on House Size refer to North Entry (N) and South Entry (S)



TELEPHONE & DATA WIRING no scale

NOTE: ALL TUBS ON EXTERIOR WALLS MUST HAVE A SOLID DRYWALL AIR BARRIER BETWEEN TUB AND WALL.

GENERAL NOTES: ALL CONSTRUCTION INCLUDING STRUCTURAL DETAILS MUST CONFORM TO N.C. STATE BUILDING CODES AND SUPERSEDE ANY NOTES IN THESE DRAWINGS.

DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

CONTACT THE ARCHITECT REGARDING ANY DIMENSIONAL INCONSISTENCIES.

ALL DIMENSIONS SHOWN ARE TO FINISH FRAME SURFACE UNLESS OTHERWISE NOTED.

ROUGH CEILING HEIGHT IS 1' 1/2" MORE THAN NOMINAL DIMENSION.

FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.

ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

NOTE: IT IS THE INTENT OF THESE PLANS AND DRAWINGS TO CONVEY A COMPLETE AND OPERABLE SYSTEM WITH ALL APPROPRIATE APPROVALS. IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR TO INCLUDE ALL RELATED COSTS IN HIS CONTRACT. A ROCK CLAUSE WILL BE INCLUDED THAT CLEARLY DEFINES "ROCK" AND ASSOCIATED COSTS.

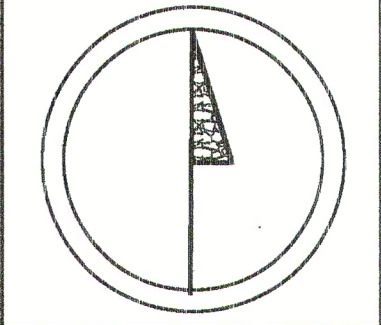
IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSURE THERE IS NO GAP IN RESPONSIBILITY BETWEEN SUBCONTRACTORS TO PROVIDE A COMPLETE AND OPERABLE JOB. ALL WORK MUST COMPLY TO ALL STATE AND LOCAL CODES AND STANDARDS.

REVISION DATE

TYPICAL POST scale: 1/2" = 1'0"

CONSTRUCTION DOCUMENTS

PACIFICA 1460 s.f. Middle & East End Unit - Entry on South Side scale as noted



Architect

BLUNDEN PIESSE ARCHITECTS
103 West Weaver Street
Carboro NC 27510
919.967.8505 (tel)
919.942.1881 (fax)
blunden@mindspring.com

Owner

GREEN EQUITY, LLC
312 Ridge Road
Durham NC 27705
919-402-0043 (tel)

Developer

CARRBORO COLLABORATIVE DEVELOPMENT ASSOCIATION
103 West Weaver Street
Carboro NC 27510
919.967.8505 (tel)
919.942.1881 (fax)

Civil Engineer

ROBERT JOYNER, P.E.
100 Purple Leaf Place
Carboro NC 27510
919.960.9150 (tel)