

MK	TYPE	SIZE	MATERIAL	GLAZING	OPTIONS
1	EXTERIOR	3'-0" x 6'-8"	FIBERGLASS	LOW E	NO GRILLS
2	INTERIOR	2'-0" x 6'-8"	SMOOTH	N/A	SOLID CORE
3	INTERIOR	2'-0" x 6'-8"	SMOOTH	N/A	SOLID CORE
4	BIFOLD	4'-0" x 6'-8"	WOOD LOUVERED	N/A	
5	FRENCH EXT	(2) 2'-8" x 6'-8"	FIBERGLASS	LOW E	
6	INTERIOR	2'-4" x 6'-8"	SMOOTH	N/A	SOLID CORE
7	BIFOLD	3'-0" x 6'-8"	WOOD LOUVERED	N/A	
8	BIFOLD	3'-0" x 6'-8"	WOOD LOUVERED	N/A	
9	POCKET	2'-0" x 6'-8"	SMOOTH	N/A	SOLID CORE
10	BIFOLD	6'-0" x 6'-8"	WOOD LOUVERED	N/A	
11	INTERIOR	1'-6" x 6'-8"	SMOOTH	N/A	SOLID CORE
12	EXTERIOR PATIO	2'-8" x 6'-8"	FIBERGLASS	CLEAR IG	NO GRILLS
13	EXTERIOR	2'-6" x 6'-8"	FIBERGLASS	N/A	
14	FRENCH EXT	(2) 2'-8" x 6'-8"	FIBERGLASS	CLEAR IG	N/A
15	EXTERIOR	3'-0" x 6'-8"	FIBERGLASS	CLEAR IG	NO GRILLS
16	BY-PASS	3'-0" x 6'-8"	SMOOTH	N/A	SOLID CORE
17	INTERIOR	2'-0" x 6'-8"	SOLID CORE BIRCH	N/A	WEATHER STRIPPED WITH SWEEP, THRESHOLD & KEY LOCK
18	INTERIOR	3'-0" x 6'-8"	SOLID CORE BIRCH	N/A	
19	EXTERIOR PATIO	2'-8" x 6'-8"	FIBERGLASS	LOW E	NO GRILLS

ALL EXTERIOR FIRST FLOOR DOORS WILL HAVE LOW PROFILE THRESHOLDS.

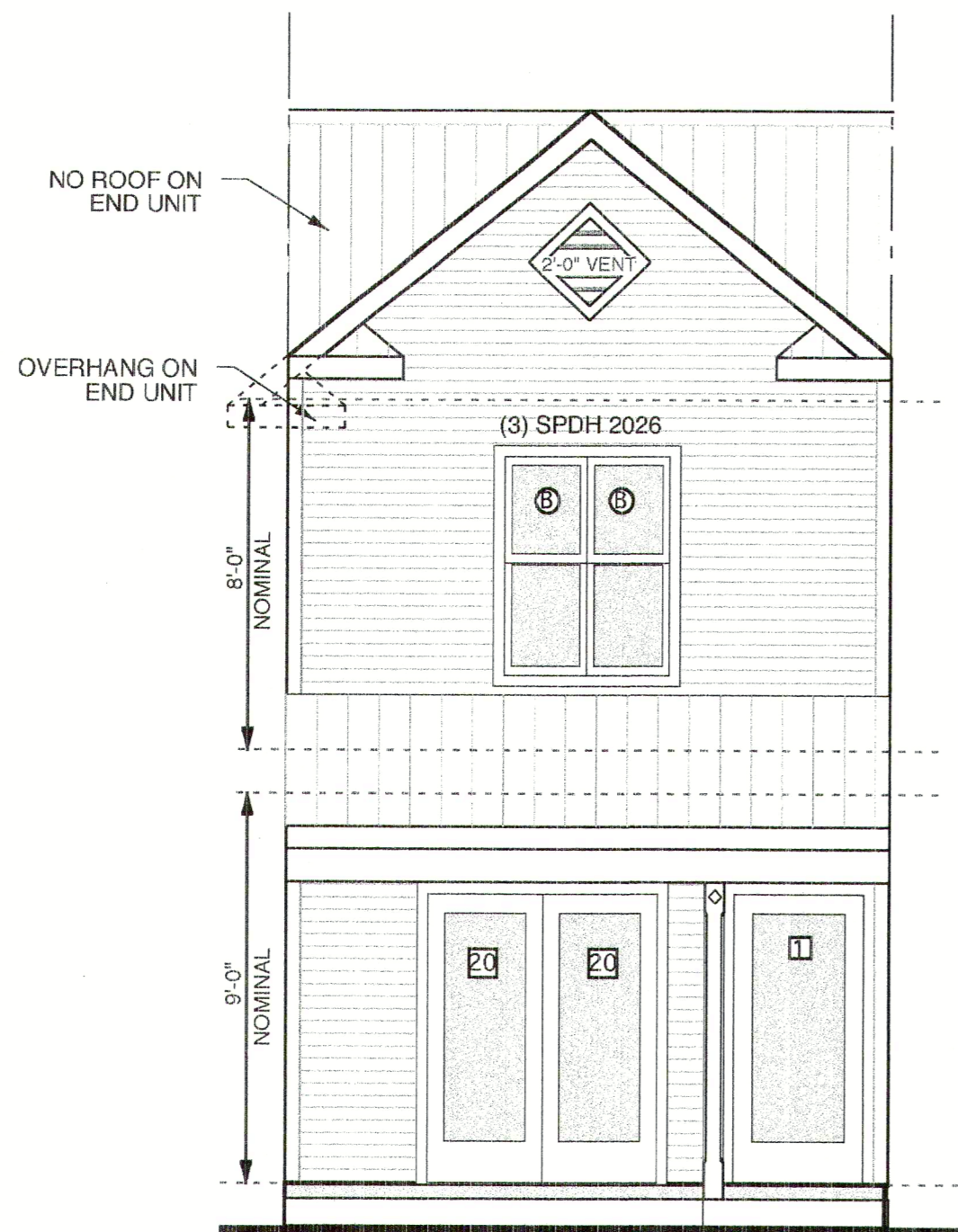
MK	TYPE	UNIT NO	MAKE	GLAZING	OPTION
A	DOUBLE HUNG	CPDH 2432	CARRARO	CLEAR IG	
B	DOUBLE HUNG	CPDH 2026	CARRARO	LOW E	
C	DOUBLE HUNG	CPDH 2020	CARRARO	LOW E	
D	DOUBLE HUNG	CPDH 2016	CARRARO	LOW E	
E	DOUBLE HUNG	CPDH 2026	CARRARO	CLEAR IG	

LOCATION	FIXTURE	MAKE	MODEL	LAMP/TRIM
KITCHEN	UNDER CAB FLUOR	SIMAR	UN20TS-LA	20W T-12
KITCHEN	PENDANT	\$50 ALLOWANCE	ITEM TBD BY BUYER	
LIVING ROOM	CLING FAN	\$100 ALLOWANCE	ITEM TBD BY BUYER	
DINING ROOM	TRACK	\$100 ALLOWANCE	ITEM TBD BY BUYER	
BEDROOMS	CLING FAN LIGHT	\$150 ALLOWANCE	ITEM TBD BY BUYER	
BATHROOM	BATH FAN LIGHT	PANASONIC	FW07 VOL2	FLUOR. 1A-3 (W/RETRACTABLE BLINDS)
BATHROOM	WALL SCONCE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
LAUNDRY	SURFACE FIXTURE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
EXTERIOR	WALL MTD	VOLUME	V-1627-S	11W C.F.
ENTRY	WALL SCONCE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
STAIRWELL	WALL SCONCE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
HALL	WALL SCONCE	\$50 ALLOWANCE	ITEM TBD BY BUYER	
SCREEN PORCH	CLING FAN LIGHT	\$150 ALLOWANCE	ITEM TBD BY BUYER	

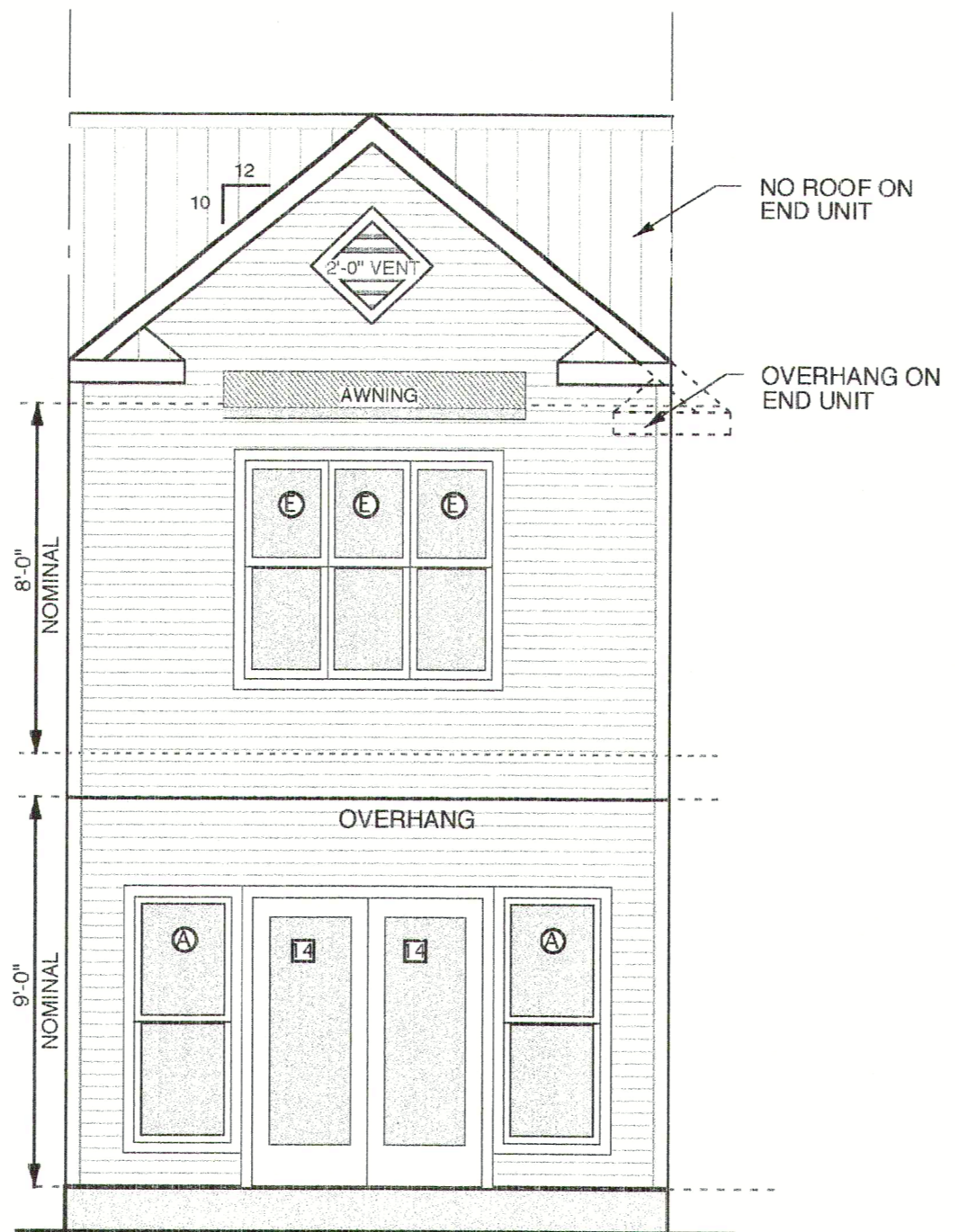
NOTE: AFCO ON ALL BEDROOM CIRCUITS.

LOCATION	FIXTURE	MAKE	MODEL	COLOR	TRIM
BATH	TUB				
	W.C.				
	PEDESTAL SINK				
	VANITY LAV				
1/2 BATH 1300 & 1460	WALL MTD LAV	ELFE	2501T	WHITE	DELTA METAL LEVER
KITCHEN	KITCHEN SINK	POLAR	DOUBLE BOWL S. S.		DELTA METAL LEVER
	DISHWASHER (2) STANDARD				
	DISHWASHER (1) 30" UNIT ONLY				
CONSERVATION DEVICES	SHOWERHEAD	MAZARA	CONSERVATION	1.7 GPM	
	KITCHEN SINKET	MAZARA	CONSERVATION	1.2 GPM	
	BATHROOM FAUCET	MAZARA	CONSERVATION	1.0 GPM	
	ACULATOR	MAZARA	CONSERVATION	1.0 GPM	
OPTIONS	GARDEN TUB	NEPTUNE	30" JUB BATH TUB	TBD BY BUYER	TBD BY BUYER
	SHOWER				DELTA METAL LEVER

Electrical Symbols	
TRACK LIGHT	CEILING FAN LIGHT
DUPLEX RECEPTACLE	SWITCH
SWITCHED RECEPT.	3 WAY SWITCH
220 RECEPTACLE	DIMMER SWITCH
SURFACE LIGHT	TELEPHONE
PENDANT LIGHT	TELEVISION
WALL LIGHT	FLUORESCENT
RECESSED CAN	SMOKE DETECTOR
EYEBALL CAN	COMPUTER
FAN LIGHT	CO DETECTOR
CEILING FAN	FLOOD LIGHT



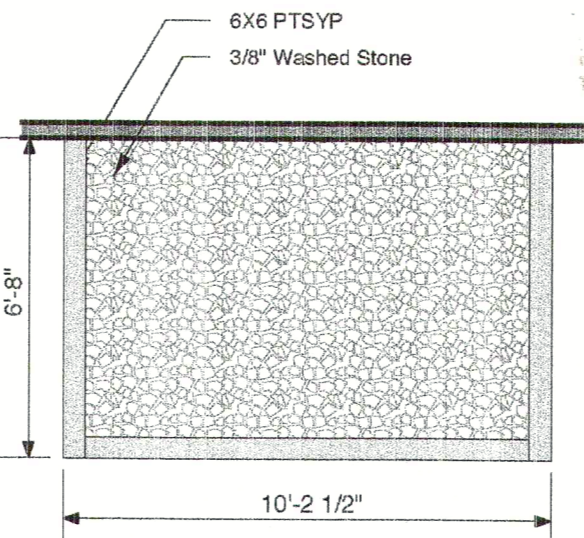
1100 TOWNHOUSE NORTH ELEVATION scale: 1/4" = 1'-0"



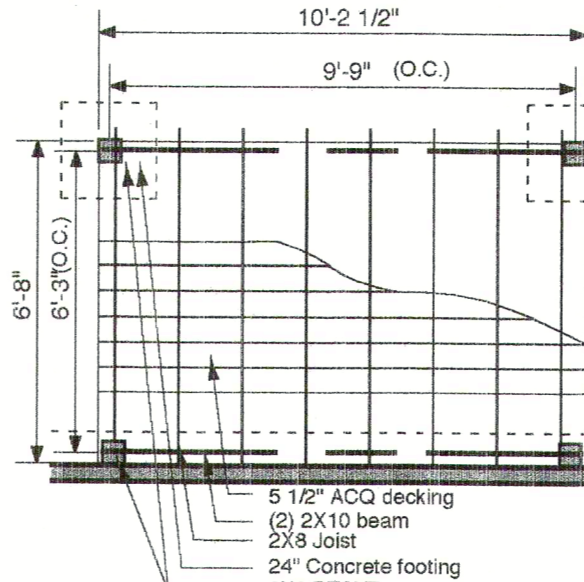
1100 TOWNHOUSE SOUTH ELEVATION scale: 1/4" = 1'-0"

UNIT 107 MIDDLE UNIT  
 UNIT 105 WEST END UNIT  
 UNIT 113 MIDDLE UNIT  
 UNIT 149 MIDDLE UNIT  
 UNIT 159 WEST END UNIT  
 UNIT 163 WEST END UNIT

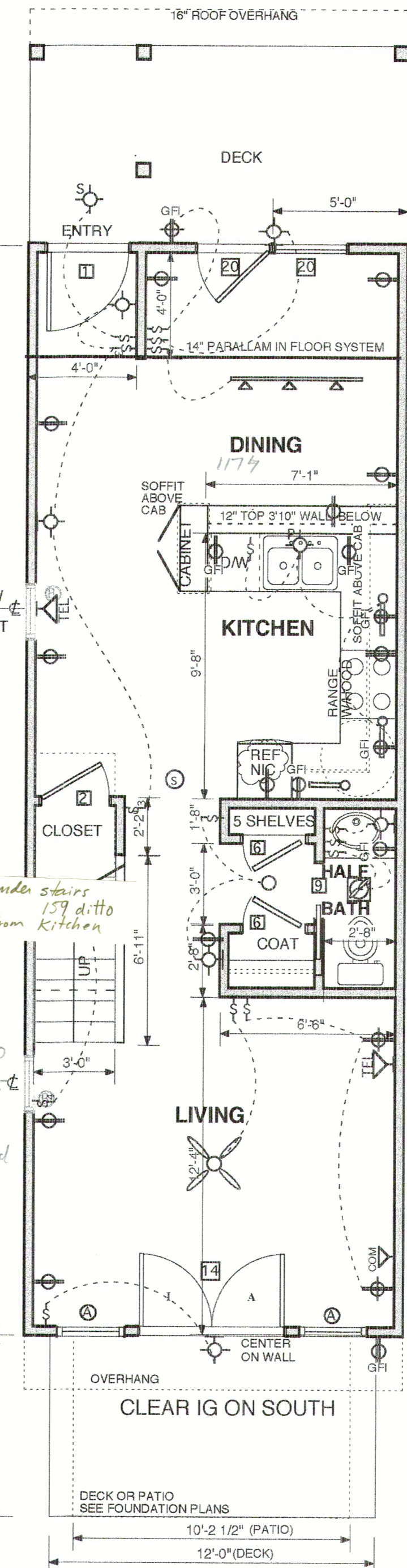
CLEAR IG ON SOUTH



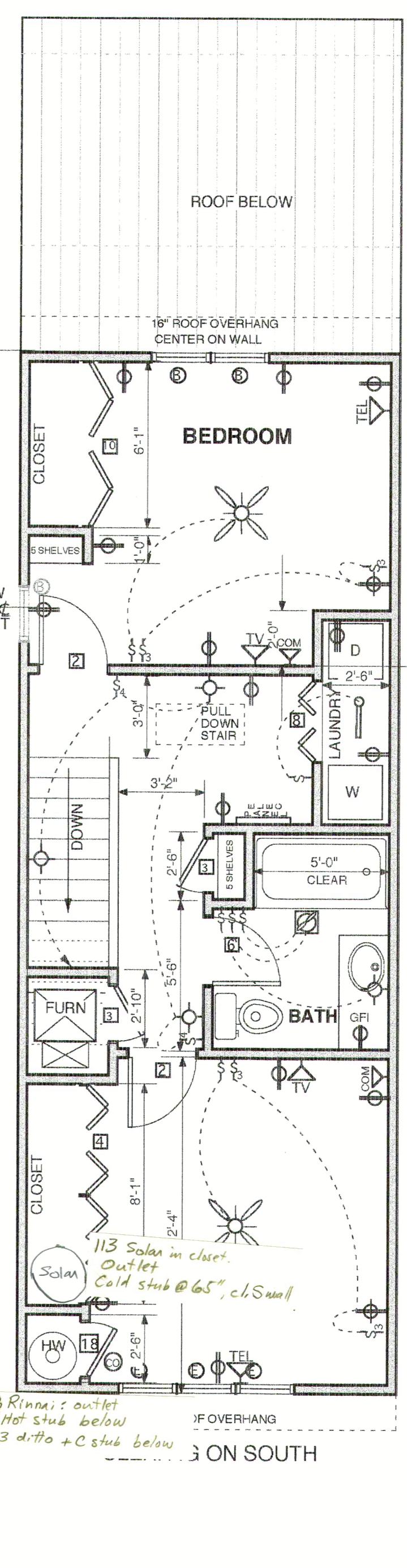
PATIO DETAIL scale: 1/4" = 1'-0"



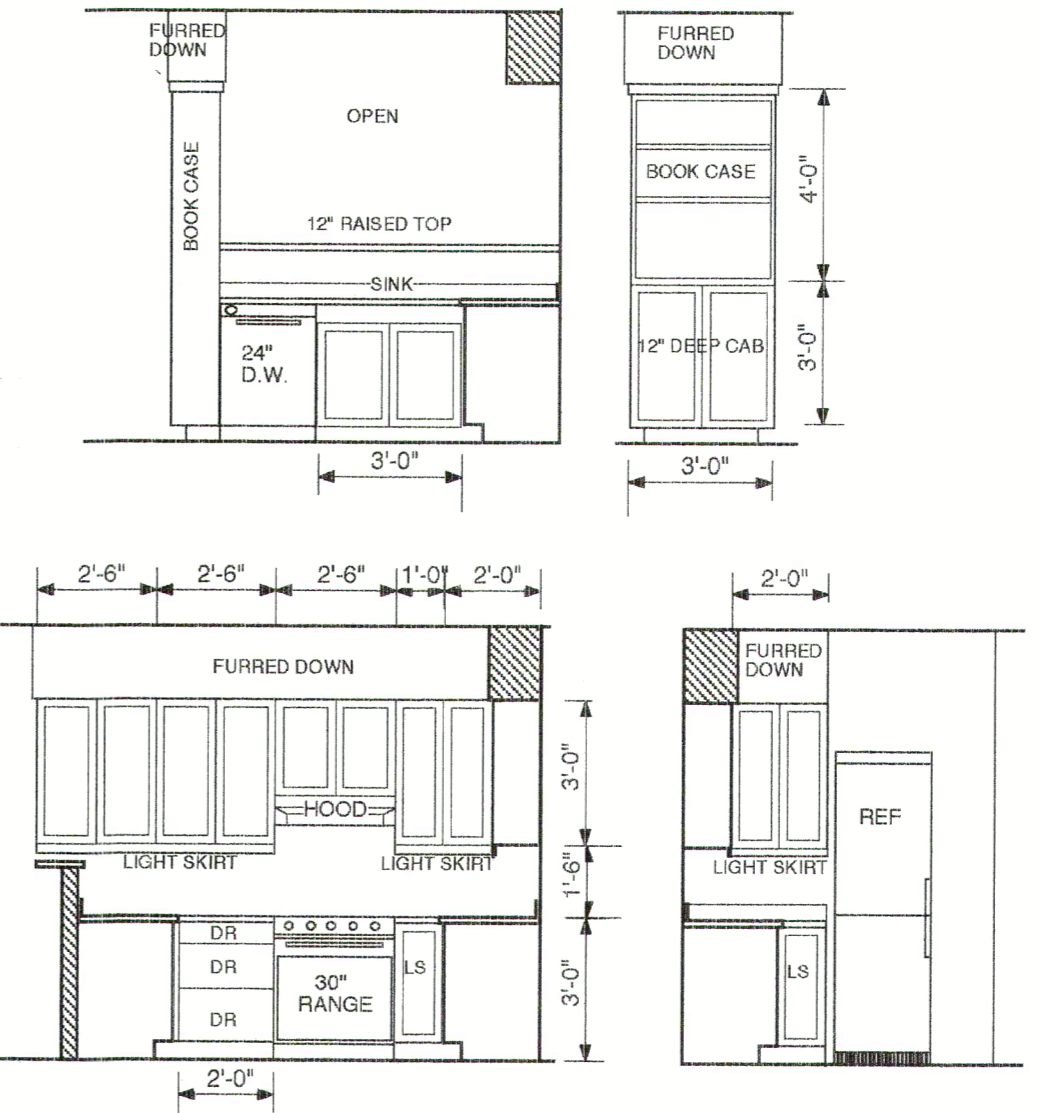
ALT DECK TYPICAL scale: 1/4" = 1'-0"



1100 TOWNHOUSE PLAN FIRST FLOOR scale: 1/4" = 1'-0"



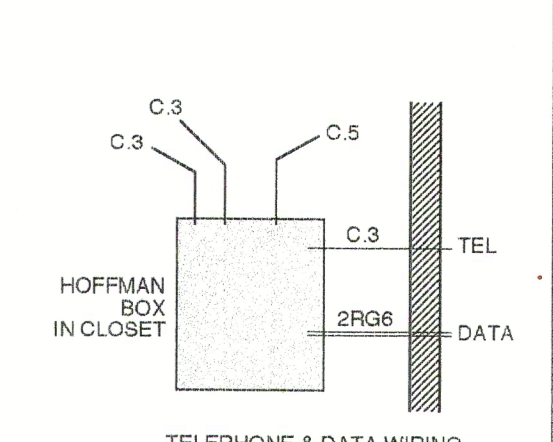
1100 TOWNHOUSE PLAN SECOND FLOOR scale: 1/4" = 1'-0"



KITCHEN ELEVATIONS

Lot / Unit Number	Future Owner	House Size
O101	Martens	1460 - N
O103	Massey, G.	Custom - N
P105	Waters	1100 - N
P107	Stearns	1100 - N
P109	Burnage	1460 - N
Q111	Sark & Barke	Custom - N
N113	McCollough	1100 - N
N115	Reszovic	1300 - N
M117	Peables & Newman	900 - N
M119	Simms & Hallin	1460 - N
L121	Myers & Harves	1460 - S
L123	Westfall	900 - S
L125	Marion	900 - S
K127	Stearns	900 - S
K129	Cole & Elshiehn	1460 - S
K131	Carmetti	900 - S
K133	Massey, J.	900 - S
J135	Jamison	1460 - S
J137	Crossler	1100 - S
J139	Rauhn	900 - S
CH141	HDA-Common House	2
CH143	HDA-Common House	2
E145	Corrador & Escobar	Custom - N
F147	Fordam	1300 - N
F149	Jordan	1100 - N
F151	Henscke	1460 - N
G153	Whanant	Custom - N
H155	Cunningham & Kerberry	1300 - N
H157	Bovason	1460 - N
H159	Guzwin	1100 - N
I161	Kab	900 - N
I163	Labadie	1100 - N
A165	Jenks	1106 ft <sup>2</sup> S
A167	Hardy	1460 - S
A169	Lee	1100 - S
A171	Cook	1106 ft <sup>2</sup> S
A173	Moleski & Kreller	1460 - S
A175	Morinastar & Winters	1300 - S
B177	Jahnen	1106 ft <sup>2</sup> S
B179	Coleman & Michaels	1460 - S
B181	Ronito	1106 ft <sup>2</sup> S
B183	Kolmans	1460 - S
B185	Morinastar & Zuckerman	1460 - S
C187	Trennes	610 - S
C189	Milars	610 - S
C191	Walsh	610 - S
C193	Exvitt	610 - S
D195	Pierona	Custom - S

KEY: N and S on House Size refer to North Entry (N) and South Entry (S)



TELEPHONE & DATA WIRING no scale

NOTE: ALL TUBS ON EXTERIOR WALLS MUST HAVE A SOLID DRYWALL AIR BARRIER BETWEEN TUB AND WALL.

DO NOT SCALE DRAWINGS FOR CONSTRUCTION.

CONTACT THE ARCHITECT REGARDING ANY DIMENSIONAL INCONSISTENCIES.

ALL DIMENSIONS SHOWN ARE TO ROUGH FRAME SURFACE UNLESS OTHERWISE NOTED.

ROUGH CEILING HEIGHT IS 1'-2" MORE THAN NOMINAL DIMENSION.

FINISH DOOR AND WINDOW HEADS SHALL ALIGN EXCEPT AS NOTED.

ALL MATERIALS AND COMPONENTS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

NOTE: IT IS THE INTENT OF THESE PLANS AND DRAWINGS TO CONVEY A COMPLETE AND OPERABLE SYSTEM WITH ALL APPROPRIATE APPROVALS. IT IS THE RESPONSIBILITY OF THE SUBCONTRACTOR TO INCLUDE ALL RELATED COSTS IN HIS CONTRACT. A ROCK CLAUSE WILL BE INCLUDED THAT CLEARLY DEFINES "ROCK" AND ASSOCIATED COSTS.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ASSUME THERE IS NO GAP IN RESPONSIBILITY BETWEEN SUBCONTRACTORS TO PROVIDE A COMPLETE AND OPERABLE JOB. ALL WORK MUST COMPLY TO ALL STATE AND LOCAL CODES AND STANDARDS.

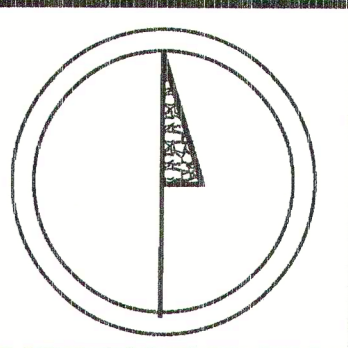
REVISION	DATE

CONSTRUCTION DOCUMENTS

PACIFICA

1100 s.f. Unit Plan North Entry scale as noted

sheet #	date
A 13	09.29.04



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GENERAL NOTES: ALL CONSTRUCTION, INCLUDING STRUCTURAL DETAILS, MUST CONFORM TO N.C. STATE BUILDING CODES AND SUPERSEDE ANY NOTES IN THESE DRAWINGS.

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